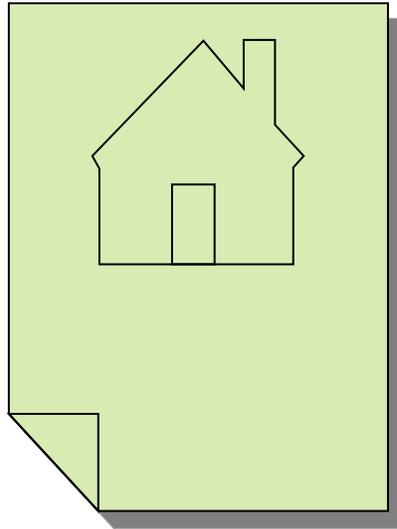




A Homeowner's Guide to Renovation and Addition Permits



What is a Building?

The Building Code Act of Ontario defines a building as:

1. A structure occupying an area greater than 10 m² (108 sq. ft.) consisting of a wall, roof and floor or any of them or a structural system serving the function thereof including all plumbing, works, fixtures and service systems appurtenant thereto,
2. A structure occupying an area of 10 m² (108 sq. ft.) or less that contains plumbing, including the plumbing appurtenant thereto,
3. Plumbing not located in a structure,
4. A sewage system; **OR**
5. Designated structures as defined in the Ontario Building Code. (*Examples: some retaining walls, solar collectors on buildings, etc.*)

Planning Your Project

The Zoning By-Law is a great place to start when planning your project. Zoning regulations will dictate what/where you can and cannot build on your property. For more information about the zoning regulations on your property please contact the Town Planner.

Determining the site conditions and other approvals that may be required on your property will also help you in the planning and approval processes. These approvals and site designations may include (but are not limited to):

- Mississippi Valley Conservation Authority
- Rideau Valley Conservation Authority

When is a Building Permit Required?

A building permit is required for any new building greater than 10m² (108 sq ft), any addition to an existing building, any material alterations to an existing building which affects: the structural design of the building; mechanical; plumbing services (no limit on size of building); and the use of buildings or parts thereof. If you are unsure if your project requires a permit please contact our office for clarification.

What Projects DO NOT Require a Building Permit?

- asphalt roof shingling
- eaves troughs
- minor repairs to masonry
- damp proofing basements
- air conditioning units or heat pumps added to existing forced-air systems
- replacement of kitchen or bathroom cupboards without plumbing alterations
- replace existing forced-air furnace (no duct work alterations)
- replacing siding or windows (provided there are no structural changes)
- pool heaters
- painting and decorating

Preparing a Permit Application Package

A complete permit application package should include the following:

1. A completed Application for Permit to Construct or Demolish
2. Two copies of construction plans and specifications
3. Other approvals, if applicable

Drawing Standards

- Imperial or metric is accepted however must be uniform throughout design
- All drawings must be drawn to scale (min. 3/16" = 1' - 0").
- Sketches are **not** acceptable
- We will not accept drawings in pencil, but photocopies of penciled drawings are acceptable
- Plans can be prepared by the homeowner (as long as the property owner is an individual and not a company) or a qualified designer.

***Please note:** delays in permit issuance can be avoided if all drawings and specifications incorporate sufficient information to verify that the work will conform to the Ontario Building Code and the Zoning By-law. It is recommended that you hire a qualified designer to prepare your final plans and specifications if you are not familiar with the requirements and the preparation of design drawings. A qualified designer can be a drafting service with valid B.C.I.N.s (Building Code Identification Number), Ontario Professional Engineer or Architect licensed in Ontario.

Required Drawings and Specifications

At the time of building permit application you will be required to submit some or all of the following drawings (please see sample drawings for reference):

Plot Plan (required for additions, decks, accessory buildings and some exterior work)

A plot plan identifies buildings and other features in relation to property boundaries. The plot plan should identify the location of your existing house, other existing structures (ie. garages, sheds, decks) and proposed additions or new structures.

Most or all of the information required for a plot plan can be found on your property survey. You may have received a survey when you purchased your home or it is possible the Land Registry Office has one on record.

The following information should be shown on a plot plan:

- property lines with dimensions and area of lot
- all new and existing structures with setbacks (distance) noted to property lines
- overall dimensions/area of new and existing structures (to determine lot coverage)
- right-of-ways and easements

Floor Plans

Floor plans are required for each floor level that is affected by the proposed work. For additions to existing buildings, floor plans of all or part of the existing building may be required. This should be discussed with the Building Department prior to preparing your final drawings.

The following information must be shown on floor plans:

- title and scale (min. 3/16" = 1'-0")
- all room names/uses
- interior and exterior dimensions including door and window sizes
- foundation design (foundation wall thickness, footing sizes and/or pier sizes)
- size, direction and spacing of structural members (joists, columns, beams and lintels)
- location of plumbing fixtures
- smoke alarm locations

Roof Framing Plan

Existing and new roof and ceiling framing must be indicated on the plans. If engineered roof trusses are going to be used then this needs to be indicated. . Also, any hip or girder trusses must be noted on the floor plans.

* **Please note:** Partial roof framing plans may be required to indicate loading conditions affecting the existing structure and new addition.

Elevations

Elevations show all exterior views of a building. Elevation drawings may be required for any project which would alter the exterior of your house.

The following information must be shown on an elevation:

- title and scale
- heights and dimensions of existing and new window and door openings
- exterior finishes and materials
- proposed height of finished floor levels above grade
- existing house and proposed construction
- overall height of building
- slope/pitch of new roofs

Cross-Sections

A cross-section presents a view of a house along an imaginary cut line, showing the structural elements of the building and exposing what is hidden behind the walls.

Cross-sections through the proposed and existing structure(s) may be required to show building materials and how they relate to one another.

The following information must be shown on a cross-section:

- title and scale
- typical wall construction:
 - stud size & spacing
 - exterior finish material
 - air barrier system
 - sheathing material & thickness
 - type and R-value of insulation
 - vapour barrier system
 - interior finish material and thickness
- typical floor construction:

- joist size & spacing
- sub-floor material & thickness
- concrete floor strength, thickness & depth of fill beneath slab
- typical roof construction:
 - roof finish
 - roof framing
 - roof sheathing material & thickness
 - type and R-value of insulation
 - vapour barrier system
 - interior finish material and thickness

Heating, Ventilating and Air Conditioning (HVAC) Design

HVAC designs are required when there are changes to the existing heating system or when an area of over 25% of the existing house area is being added. If an addition is more than 25% of the existing house area, a HVAC design is required for the added area. If an addition is more than 50% of the existing house area, a HVAC design is required for the added area and the existing house area.

The Approval Process

From the time a building permit application is submitted to the time it is approved, there are several reviews that take place:

1. Zoning

Drawings are reviewed to ensure your project will conform to the Zoning By-law. Zoning requirements specify the uses permitted within a particular area and contain regulations governing such things as building setbacks, height and lot coverage. For information about the zoning regulations on your property please contact the Planner at the Township office.

2. Architectural / Structural

Drawings are reviewed to ensure compliance with fire and life safety requirements of the Ontario Building Code.

3. Mechanical (if applicable)

Drawings are reviewed to ensure compliance with heating, ventilating and air-conditioning (HVAC), and plumbing requirements of the Ontario Building Code.

How Long Does the Approval Process Take?

The review time for a permit depends on the use of the building. For single family dwellings, the review time can be up to 10 business days. During the 10 business days, the permit will be reviewed and either issued (provided the application is complete and there are no Zoning or Ontario Building Code issues) or the applicant will be notified of any missing information . If Zoning or Building Code issues are found, the timing of permit issuance will depend on how quickly revised information can be submitted and then re-reviewed for Zoning and Building Code compliance.

On-Site Inspections

Construction may commence upon issuance of the building permit. Mandatory inspections are required at different stages throughout construction to ensure that all work is done according to the approved plans (including changes noted by the plans examiner) and the Ontario Building Code. Your building permit will include a list of the required inspections for your specific project.

Examples of construction stages when inspections are required include:

- Prior to pouring concrete footings
- Completion of structural framing, etc.

Inspections do not happen automatically. It is your responsibility to ensure that either you or your contractor contacts the Town office to request an inspection to ensure that your project proceeds as approved.

*You will need to call the office, provide the permit number, type of inspection required, and phone number and a contact name for every inspection.

* **Please note:** Inspections are conducted within two business days after the request for inspection has been received. This two day time period begins on the day after you request the inspection. Failure to have inspections performed may result in having to uncover and expose work for inspection.

Important Contacts

Other Inspections

Inspections will be required by the Electrical Safety Authority for electrical installations.
1-877-372-7233

Call Before You Dig

Remember to contact Ontario One Call for the location of utilities before you dig.

1-800-400-2255

www.on1call.com

Mississippi Valley Conservation Authority

613-253-0006

Rideau Valley Conservation Authority

613-692-3571

Land Registry Office

613-256-1577

Contact Us

Office Main Line: 613-257-1539

Fax: 613-257-8996

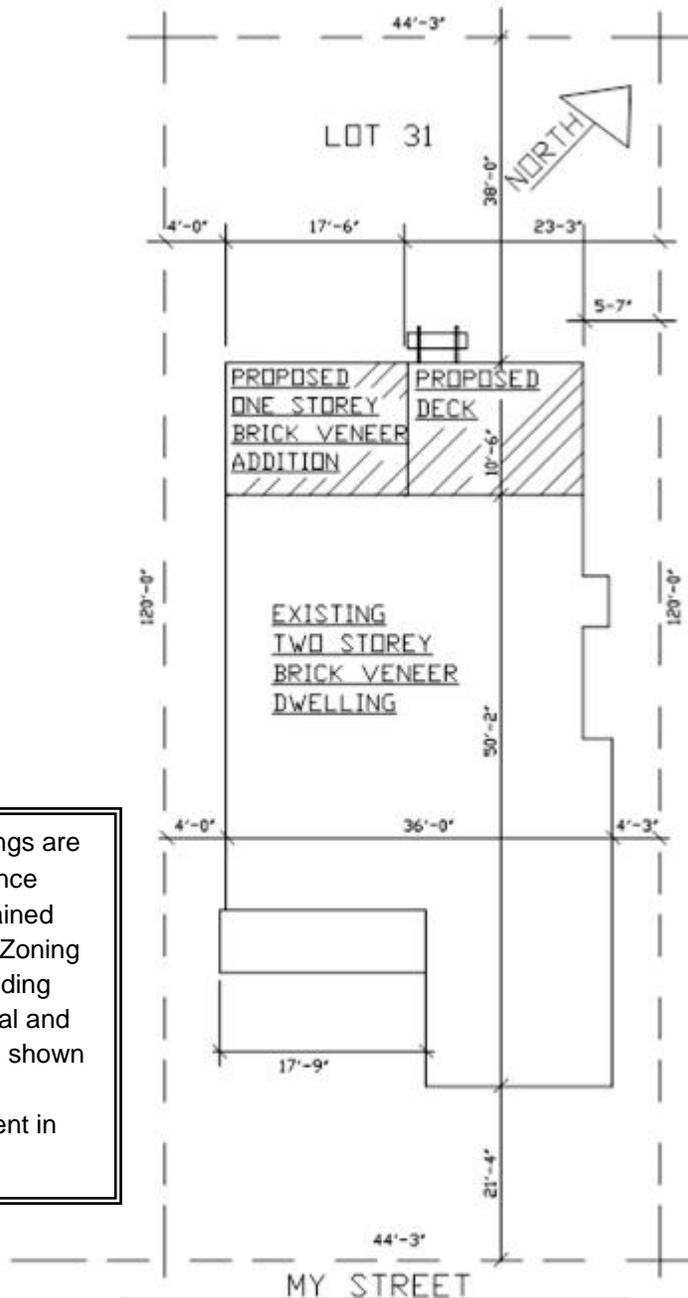
Township of Beckwith

1702 9th Line Beckwith

Carleton Place, ON, K7C 3P2

Sample Plans

Plot Plan

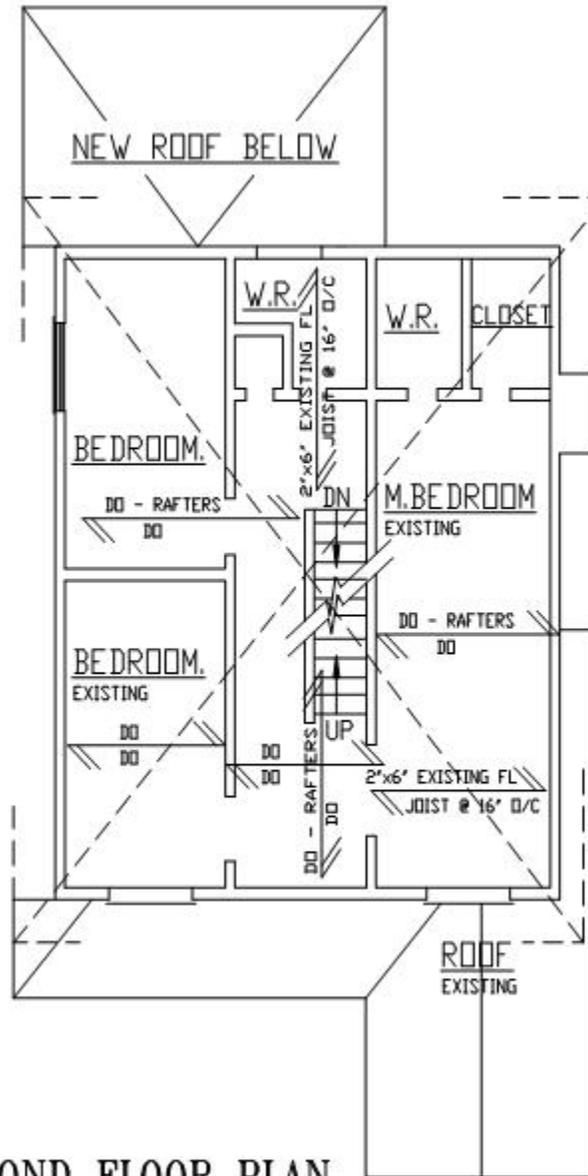


***Important:** These drawings are samples and are for reference only. The information contained may not reflect the current Zoning By-Law and/or Ontario Building Code requirements. Imperial and metric drawings have been shown for examples only. Permit drawings are to be consistent in measurement systems.

LOT 31 PLAN 27M51
AND CIVIC ADDRESS

Floor Plans

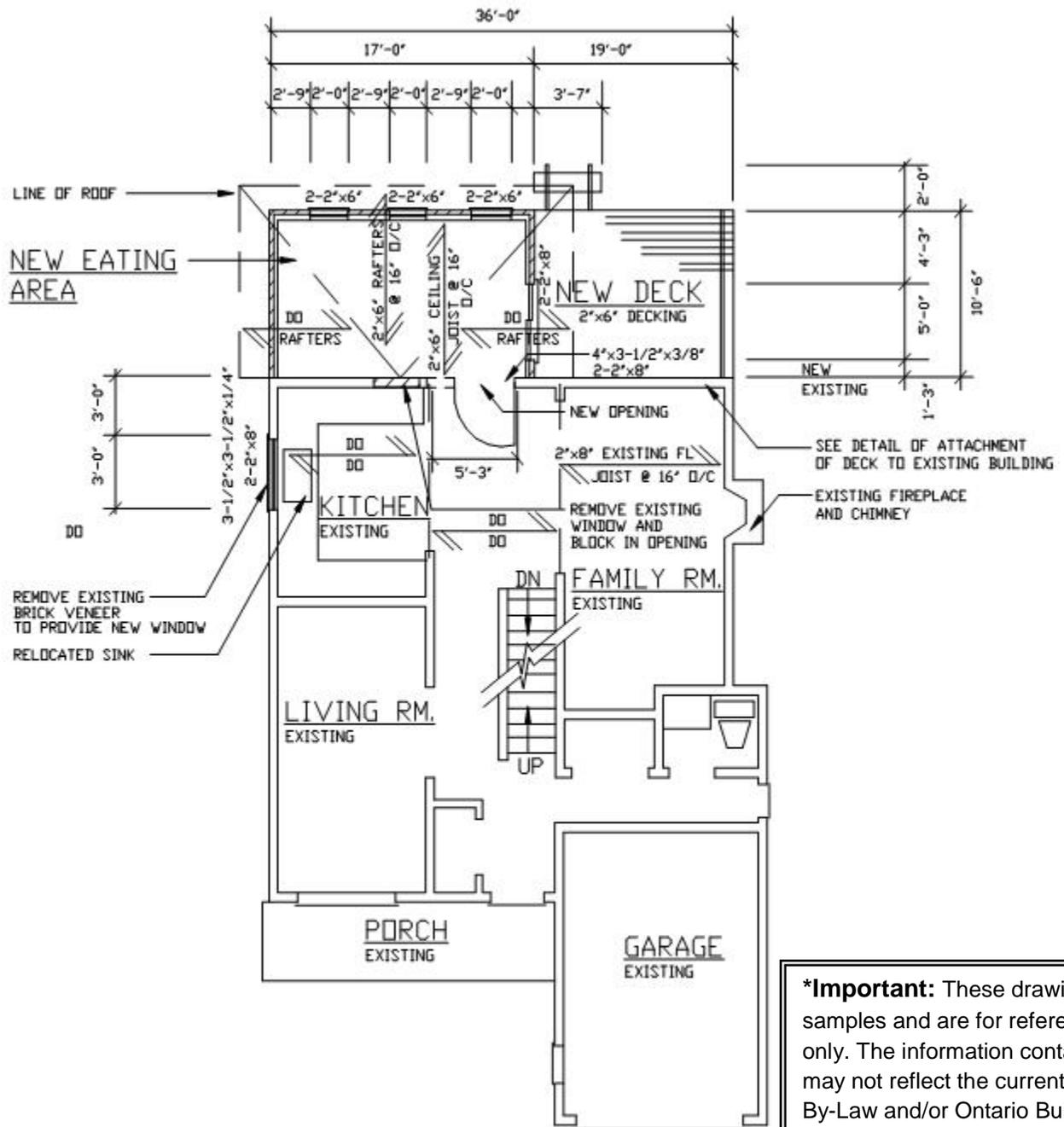
Second Floor Plan (Imperial)



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SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

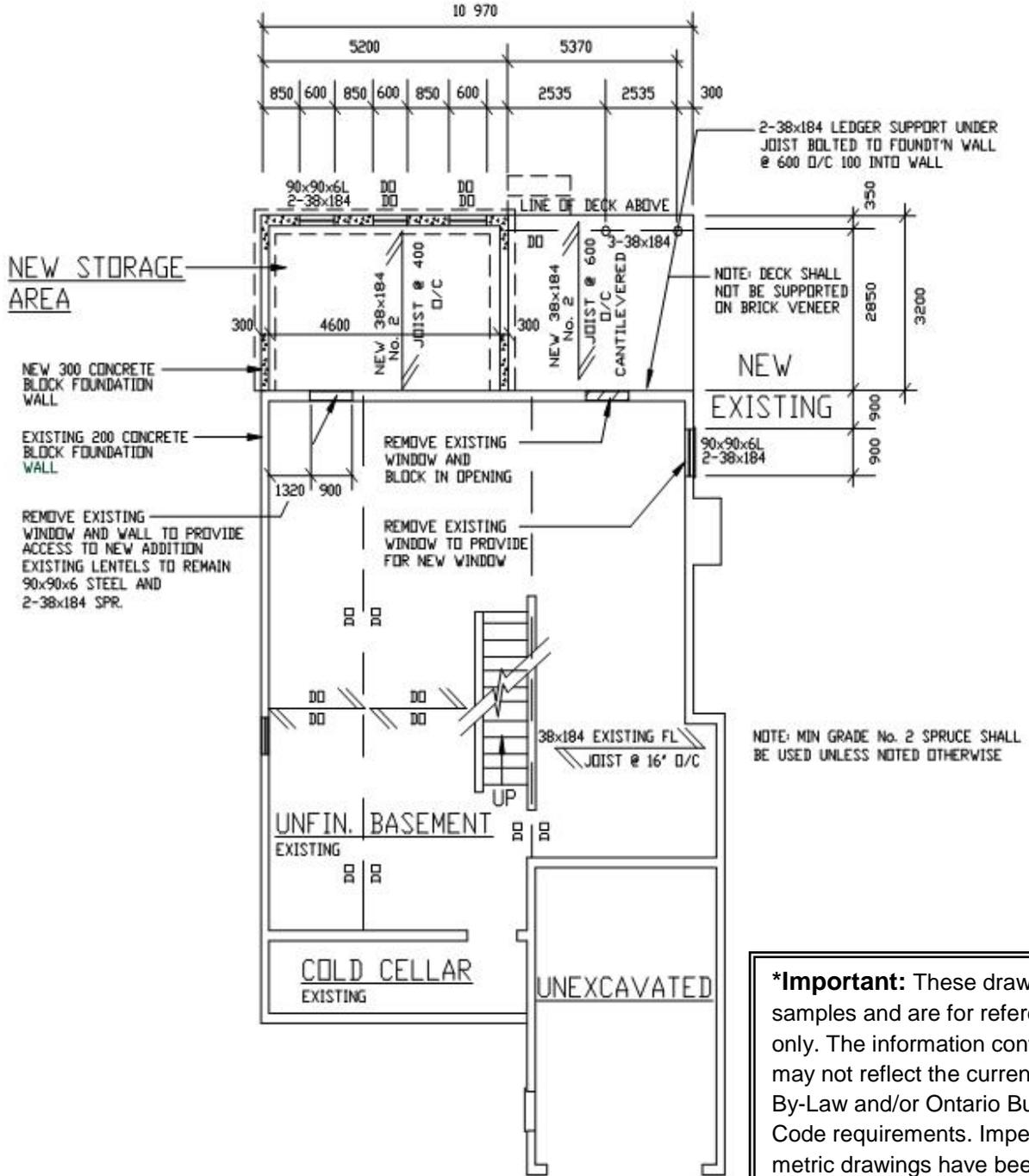
Ground Floor Plan (Imperial)



GROUND FLOOR PLAN
SCALE: 1/4"=1'-0"

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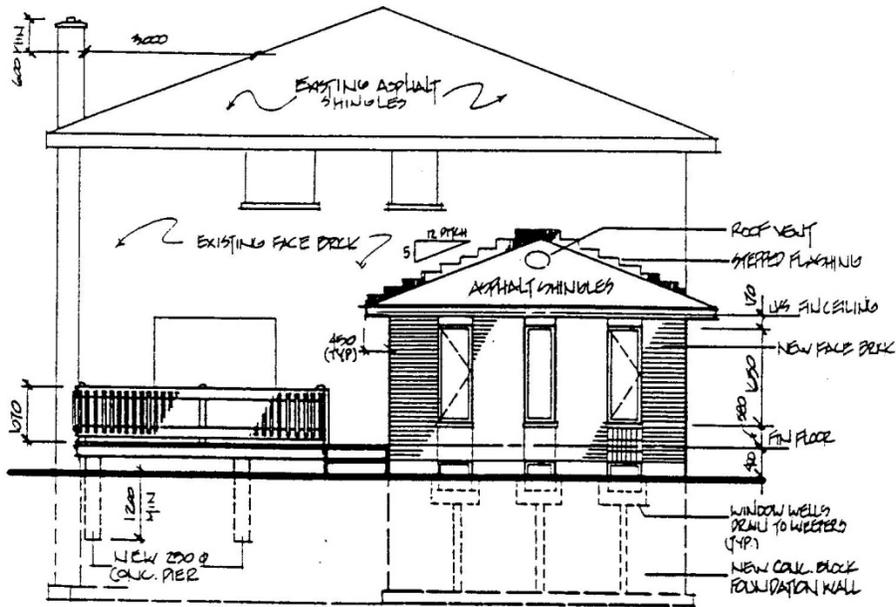
Basement Floor Plan (Metric)



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BASEMENT PLAN
SCALE: 1/50

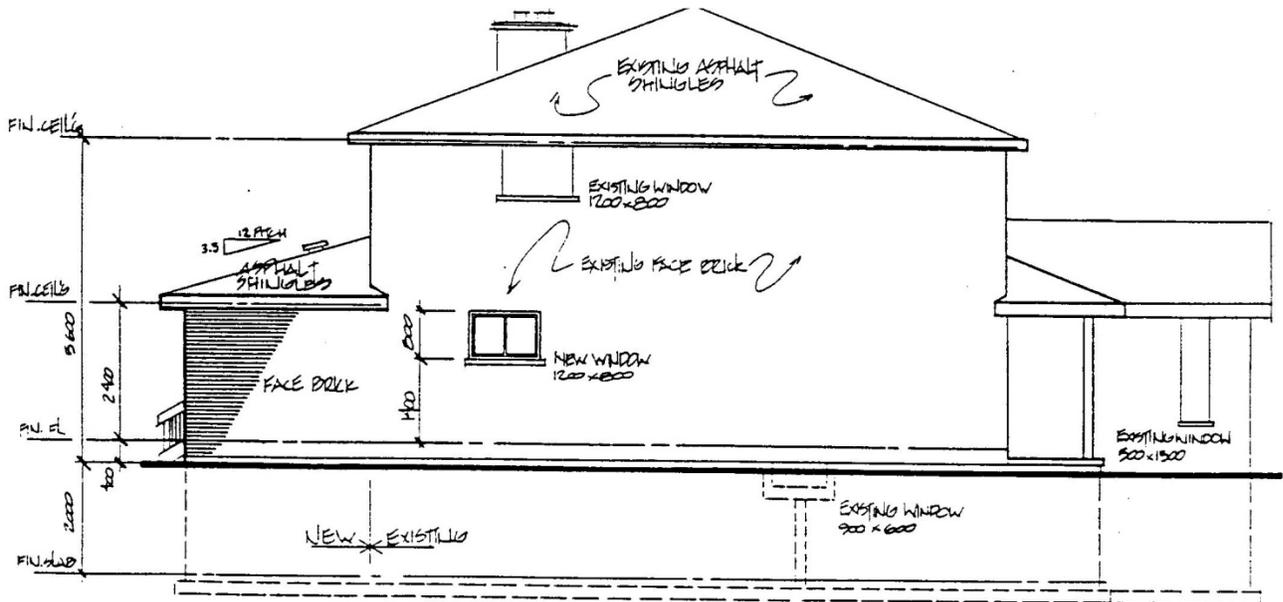
Elevations (Metric)



(EXAMPLE ONLY)

SOUTH ELEVATION

SCALE 1:50



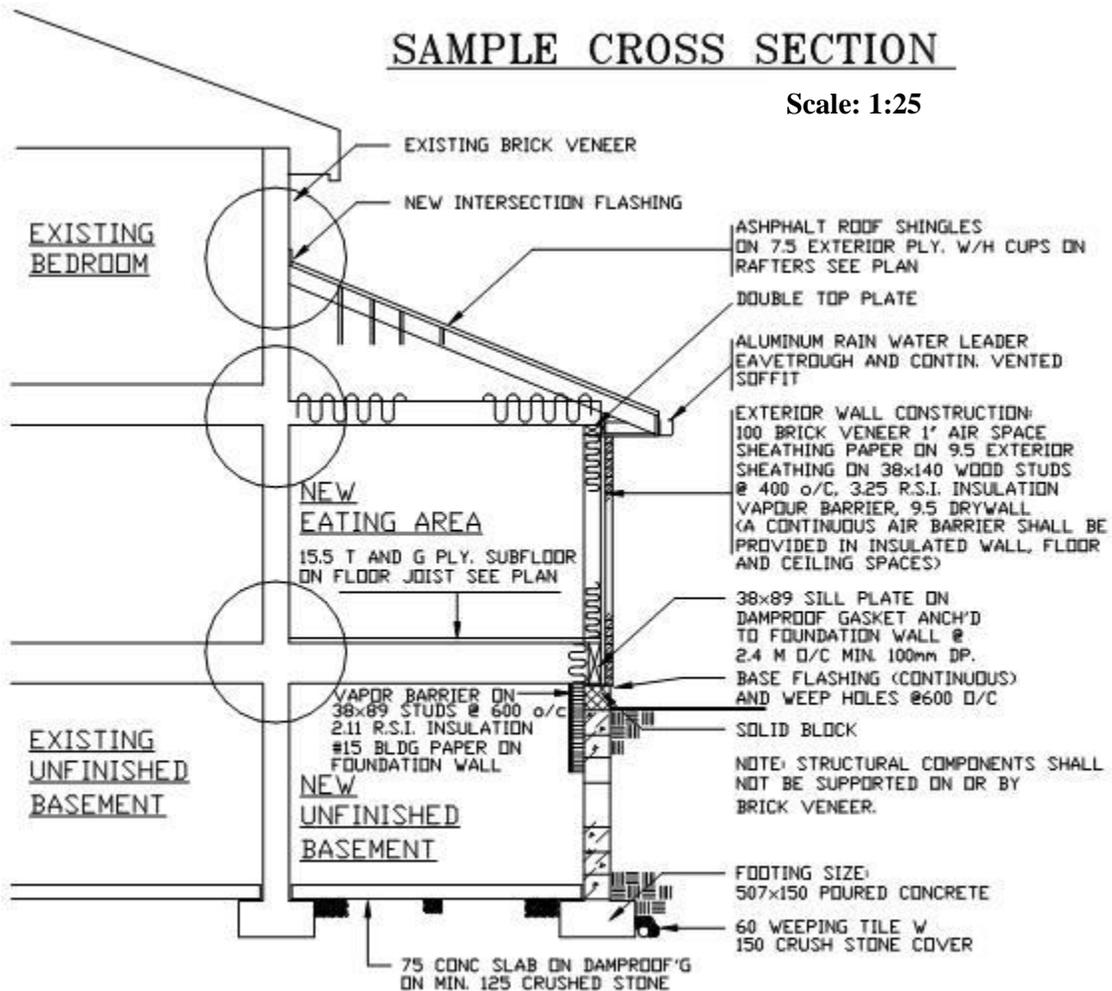
(EXAMPLE ONLY)

EAST ELEVATION

SCALE 1:50

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Cross Section (Metric)



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